

BASSETT UNIFIED SCHOOL DISTRICT

SCHOOL SITE

CONDITIONS ASSESSMENT

CONDITIONS ASSESSMENT BASSETT UNIFIED SCHOOL DISTRICT

Assessment Summary

Sites:

- A big advantage to most of the campuses is large open expanses of fields and play areas, they could however be better utilized.
- New solar panel arrays provide large shaded areas, but are not utilized and need "a reason to be".
- All the campuses lack a defined entrance. This needs to be upgraded along with security fencing. Administration offices being hard to find, security access for these needs to be put in place to direct all visitors to sign in prior to accessing the campus.

Buildings:

- In all the campuses, the classrooms and libraries have not been upgraded in their 50 to 60 year existence and are in serious need of being transformed into 21st century learning environments.
- All rooms on all sites are in need of more natural lighting and a greater tie to the exterior environment.
- Administration upgrades are needed as well, all the administration areas are tucked away and hard to find with interiors never updated since constructed.
- Most campuses had recent upgrades to HVAC, roofing, and ceilings. Restrooms appear to have been upgraded recently.
- Exteriors are maintained, but most buildings need fresh fascia boards as they are weathered and cracking. An updated pallet of fresh new exterior trim colors is needed.
- All soffit and roof vents are closed solid with paint and need to be opened.

Hazardous Materials:

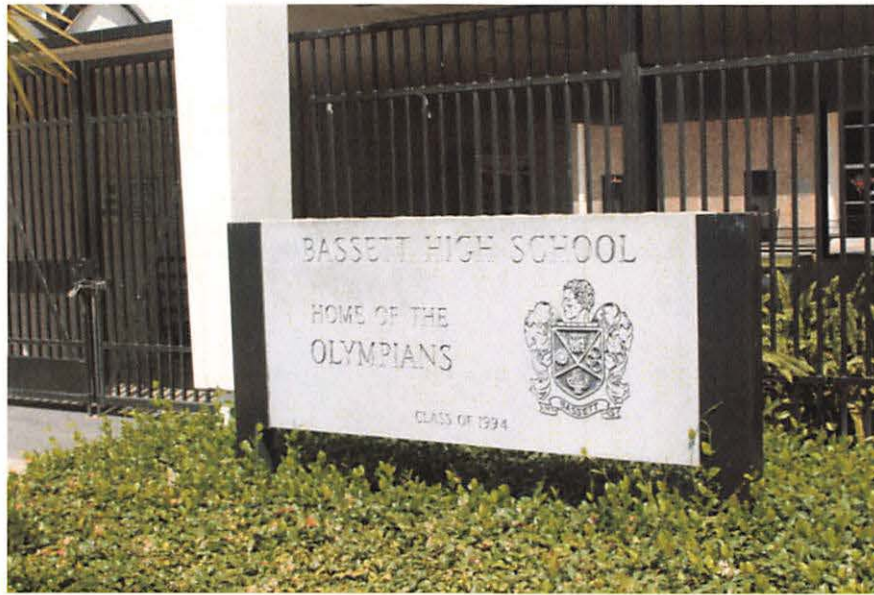
- Due to the age of the materials on both campuses there is high likelihood that they contain asbestos and lead. Testing specific to the proposed areas of work will be required prior to construction / demolition.

District Wide Recommendations

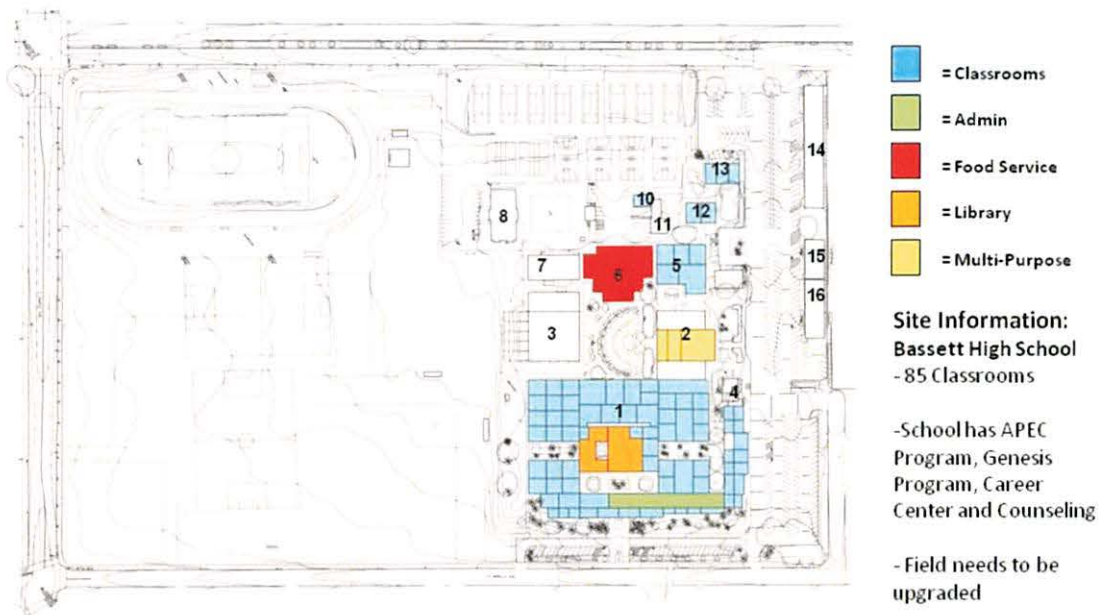
- PRIORITY 01
- CODE, HEALTH, SAFETY & 21ST CENTURY LEARNING ENVIRONMENTS
- Evaluate and address any potential structural safety items
- Abate any remaining hazardous materials on campuses
- Upgrade existing Fire Alarm systems
- Ensure compliance with the Americans with Disabilities Act (ADA) including restrooms, door hardware, ramps, etc.
- Increase safety and security on all campuses including lighting, locks, fencing and cameras
- Single point of access needs to be defined in all campuses. An accentuated entry piece is necessary to make the school entry more active and inviting
- Improve site circulation in the parking area for safe student drop-Off/pick-Up
- Portable to permanent classroom replacement
- Activate existing open spaces and bring in 21st century outdoor learning environment to the campus
- Repair/Replace Roofing
- Complete projects that were not completed as part of the last Bond program as well as AB300 Projects, remaining HVAC Work, Mechanical Work and ADA Accessibility Work
- PRIORITY 02
- INFRASTRUCTURE / MODERNIZATION
- General Classroom Modernizations including:
 - Upgrade/replace finishes in classrooms
 - Install wall insulation
 - Replace single pane windows with new high performance energy efficient windows
 - New energy efficient lighting systems (Lights, Sensors, and Automatic Controls)
 - New Furniture, New Technology, New Carpet, Upgrades to Interior Design, Etc.
 - New energy efficient heating and ventilating systems
- Create more openings to the existing classrooms and libraries to maximize the amount of light in the spaces
- Site Utilities/Drainage Improvements
- Repair/Replace irrigation system on athletic play fields and re-turf
- Fascias in most of the buildings need to get upgraded and repainted
- Repurpose leftover spaces under the solar panels that are currently not utilized, to create lunch shelters
- Repurpose existing facilities in order to maximize the use of existing classrooms and surplus lands that are not needed
- Combine all the K-8 schools
- Repurpose and expand (as needed) Sunkist, Edgewood and Don Julian to accommodate (2) Tk-8 schools and (1) K-5 school.
- Reconfigure school boundaries of Sunkist, Edgewood and Don Julian to maximize their capacities
- Sell Torch site and surplus Van Wig site for future expansions
- PRIORITY 3
- MISCELLANEOUS
- Improve Administration buildings

Bassett High School

755 Ardilla Avenue, CA 91746



Site:	34 acres
Year Built:	1960's
Grade Levels:	9-12
Current Enrollment:	1,033 - 2014
Number of Teaching Spaces- Permanent:	85 (39 used as classrooms)
Number of Teaching Spaces- Portable:	0
Student capacity- Permanent:	2,370 (assuming 30 students / CR x 79)
Student capacity- Portables:	0



EXISTING SITE DIAGRAM

Bassett Senior High School is located at 755 Ardilla Avenue, La Puente, CA 91746 and is the only High School campus within the Bassett Unified School District.

Campus renovations since original construction: New Stadium and Track, Roof Replacement Projects for several buildings and accessible drinking fountains. Also, new student restrooms, new wood flooring, bleachers and lighting in the Gymnasium and Ceiling Replacement.

Site: Bassett Senior High School campus site is 34 acres and was originally built in the 1960's. Basketball hard court area and Tennis Courts are in fair condition and are in no apparent need of restoration. The staff, visitor and student parking lot is in good condition and provides accessible parking stalls that are current with today's codes. There is little to no greenery in courtyards and between the classroom buildings. The trees look relatively healthy. The playfields are primarily brown and lacking sufficient irrigation. Mechanical Upgrades (Including HVAC) are necessary.

Access is fairly well controlled at the front. Site sides and rear are wide open. Additional security fencing is needed and access to administration prior to entry to campus should be a priority. Drop off requires upgrade. Grassy areas adjacent to amphitheater are eroded and need to be rethought regarding path of travel.

Buildings: The total building area of permanent buildings (excluding covered walkways) is approx. 193,800 sf. which consists of 13 buildings: 6 Classroom Buildings, 2 Locker Room Buildings, 1 Cafeteria Building, 1 Theater Building, 2 locker room buildings and 1 Gymnasium Building.

- Building 1 (2 stories) – classroom building: 122,800 sf
- Building 2 – classroom building: 15,300 sf
- Building 3 – gymnasium: 14,700 sf
- Building 4: 780 sf
- Building 5 – classroom building: 9,000 sf
- Building 6 – food services: 12,900 sf
- Building 7 – girls locker room: 5,400 sf
- Building 8 – boys locker room: 5,700 sf
- Building 10 – classroom building: 900 sf
- Building 11: 1,800 sf
- Building 12 – classroom building: 2,500 sf
- Building 13 – classroom building: 2,900 sf

Total Permanent Building Area: 193,800 sf

Total Portable Building Area: 0,000 sf

Building Exteriors:

- Exterior wall finish is plaster and brick, repairs are not needed
- Downspouts, gutters and fascia are in good condition.
- Overhangs and covered walkways need to be vented.
- Windows are typically single pane glass and not replaced since original construction. We recommend that all windows are replaced with IG (insulated glass units), that will contribute to great reduction in the energy needs of the buildings.
- We recommend that insulation is added to building exterior walls and roof to improve building energy efficiency and reduce utility cost.
- Based on the roofing report the majority of the roofs need to be replaced immediately.
- Roof replacement may be required. It appears to be original.
- Windows need to be replaced with dual pane.

Building Interiors:

- Floors:
 - Classrooms - carpet with rubber base. We recommend floor finishes to be replaced with new.
 - Restrooms have ceramic tile.
 - Mechanical Rooms, Janitor and Storage room have concrete floors.
- Walls:
 - Classrooms typically have gypsum board on perimeter walls.
 - Restrooms - gypsum board walls with ceramic tile wainscot.
- Ceilings:
 - Classrooms have 2'x4' t-bar suspended ceilings with acoustical tile and recessed mounted lights and electrical conduits.
- Storage:
 - Need of additional storage, new cabinets and shelving.
- Technology:
 - Fiber has been distributed to each building under the 2001 modernization.
 - There are no interactive whiteboards, video projection system or sound enhancement in each classroom.
- Spaces:
 - Administration: Ceilings and lighting are old and faded and need to be replaced. There is a serious lack of power and data.
 - Library: A restoration is underway. Major finishes, power and data upgrades are needed to bring the space up to a 21st century learning environment.
 - Classrooms: Classrooms are in original condition. Walls are generally gypsum board, painted and masonry. New lighting and controls will be required to meet Title 24. Some rooms have smart boards, but a lack of power and data is noted. Rooms require full upgrades to finishes, power, lighting, moveable storage and furniture to become 21st century learning environments.
 - Gymnasium: Interior/exterior is in good condition. Lighting needs to be upgraded and integrated with new natural lighting.



Typical Classroom - finishes look worn and outdated



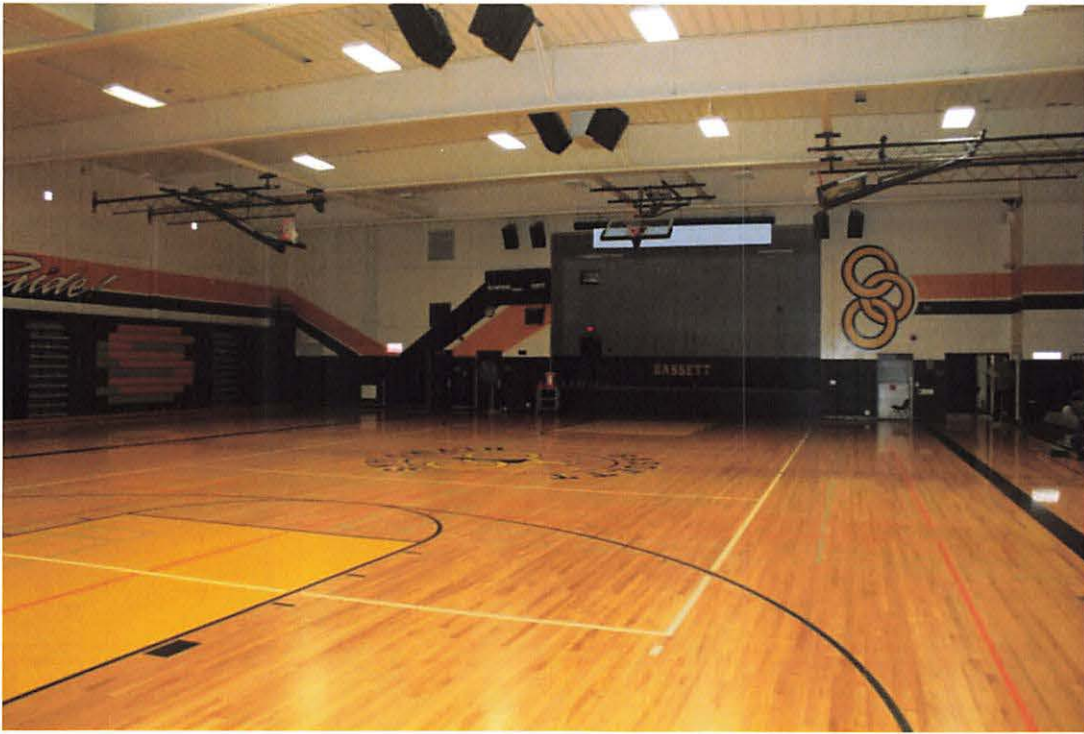
Staff Lounge - looks very dull, in need of storage



Theatre – Does not meet current Accessibility requirements



Lunch shelter



Gymnasium – Looks recently updated recommend providing more natural lighting



Outdoor Plaza



Exterior façade need updating



Exterior vestibules are not utilized

Bassett Unified School District Office

904 Willow Avenue, La Puente, CA



Site: 4.2 acres

Year Built: 1960

Site:

- A recent solar panel array and electrical gear upgrades were evident in the parking area.
- Enhancements are needed to access to the main lobby in addition to path of travel upgrades.

Buildings: The total building area of permanent buildings (excluding covered walkways) is approx. 20,150 sf. which consists of 3 buildings: 1 Administration building and 2 Warehouse buildings

- Building 1 – administration building: 13,650 sf
- Building 2 – warehouse building: 4500 sf
- Building 3 – warehouse building: 2000 sf

Building Exteriors:

- Building is of brick construction.
- Building design is dated and needs revisiting to better represent the spirit of the District.
- Windows need to be replaced with dual pane units.
- Roof may need replacing and roof top units appear worn and old.
- M&O offices and accessory buildings are in old trailers and huts, need to be replaced.

Building Interiors:

- Building interior is generally masonry and painted gypsum board. The look is old and in serious need of upgrade.
- Ceilings are low and claustrophobic.
- There is an obvious lack of lighting and lighting controls.
- Power and data upgrades are needed.
- The administration entrance is poorly defined. Lobby is in need of enhancements.
- Restrooms appear to have been recently upgraded.



Roof Damage – needs to be repaired/replaced



Corridors - Ceilings are extremely low with no natural lighting



Office - Ceilings and lighting is old, needs upgrade



Reception - Casework is outdated, more storage options needed

Don Julian Elementary School

Avocado Heights, CA



Site:	10 acres
Year Built:	1963
Grade Levels:	K-5
Current Enrollment:	542
Number of Teaching Spaces- Permanent:	26
Number of Teaching Spaces- Portable:	0
Student capacity- Permanent:	676
Student capacity- Portables:	0
Special Day Class:	3 (SDC, Headstart and RSP)



EXISTING SITE DIAGRAM

Site: Security fencing is needed around entire campus and should direct visitors to the administration office in order to sign in prior to campus entry. Administration office is tucked away and hard to find. The site is sloping and there is some path of travel and storm water runoff issues to address. There have been upgrades to exterior seating, hardscape and planting. These need to be upgraded to perform as outdoor learning environments. Playground and equipment have been recently upgraded. Large new solar arrays adjacent the play field should be integrated with seating. Electrical gear has recently been upgraded. There is a path of travel slope, and ramp issues in need of upgrade. Hardscape seating and planting upgrades have been done between some of the buildings. These need to be enhanced to become outdoor learning areas.

Buildings: The total building area of permanent buildings (excluding covered walkways) is approx. 56,900 sf. which consists of 10 buildings: 9 classroom buildings and 1 administration building.

- Building 1: 2,400 sf
- Building 2: 8,500 sf
- Building 3: 3,600 sf
- Building 4: 3,900 sf
- Building 5: 9,600 sf
- Building 6: 10,400 sf
- Building 7: 2,900 sf
- Building 8: 3,400 sf
- Building 9: 2,200 sf
- Building 10: 10,300 sf

Total Permanent Building Area: 56,900 sf
 Total Portable Building Area: N/A

Building Exteriors:

- Accessibility signage is required throughout the campus.
- Exteriors are generally brick except for the wood portable classrooms that should be replaced. Exterior brick has been patched and does not look good.
- Exterior storefront type window assemblies need to be replaced with new dual pane units.
- Accessibility upgrades are needed at classroom entrances.
- Some areas between buildings are in need of upgrade to provide plantings and seating for exterior learning environments, expanses of concrete are unattractive and not conducive to play or learning.
- Roofing appears to be in good shape.

Building Interiors:

- Floors:
 - Classrooms - carpet with rubber base. We recommend floor finishes to be replaced with new.
 - Restrooms have ceramic tile.
 - Mechanical Rooms, Janitor and Storage room have concrete floors.
- Walls:
 - Classrooms typically have gypsum board on perimeter walls.
 - Restrooms - gypsum board walls with ceramic tile wainscot.
 - Accessibility signage is required.
- Ceilings:
 - Classrooms have 2'x4' t-bar suspended ceilings with acoustical tile and recessed mounted lights and electrical conduits. We recommend lighting and lighting controls to be replaced.
- Storage:
 - Need of additional storage, new cabinets and shelving.
- Technology:
 - Fiber has been distributed to each building under the 2001 modernization.
 - There are interactive whiteboards, video projection system or sound enhancement in some classroom.
- Spaces:
 - Administration: Ceilings and lighting are old and faded that need to be replaced. There is a serious lack of power and data.
 - Library: A restoration is underway. Major finishes, power and data upgrades are needed to bring the space up to a 21st century learning environment.



Field - Recommend artificial turfing



Walkway - Grading in path of travel more than 2%



Outdoor learning areas have been recently upgraded, however could be better utilized



Typical Restroom



Signage to be updated per DSA requirements



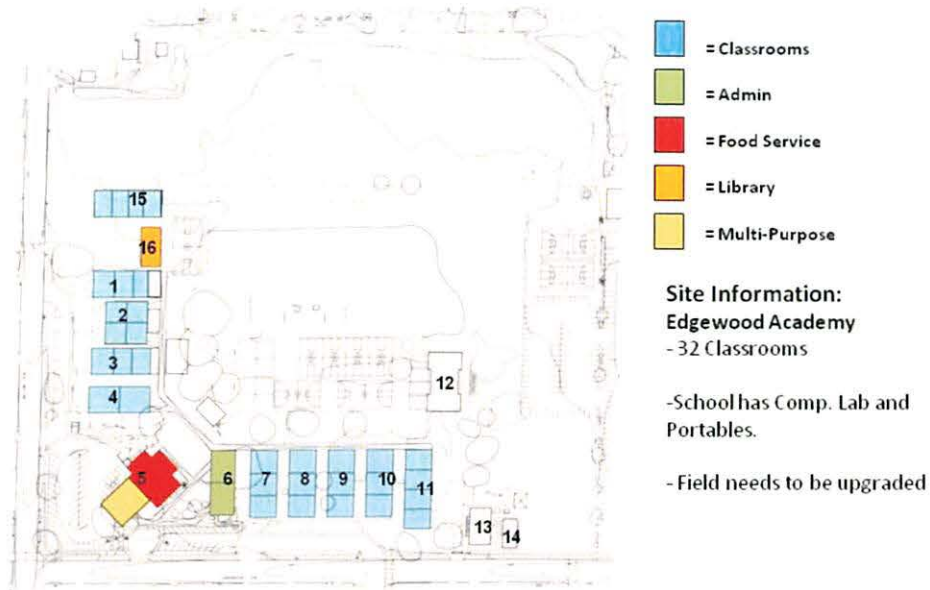
Playground area

Edgewood Academy

14135 Fairgrove Avenue, La Puente, CA



Site:	19.2 acres
Year Built:	1956
Grade Levels:	K-8
Current Enrollment:	637
Number of Teaching Spaces- Permanent:	32
Number of Teaching Spaces- Portable:	4
Student capacity- Permanent:	754
Student capacity- Portables:	xx
Special Day Class:	



EXISTING SITE DIAGRAM

Site: Existing site fencing is old, too short and should be replaced with full height site security fencing. Access should be to administration for sign in prior to campus access. Administration is tucked away and hard to find. Accessibility signage is needed throughout. Parking lot needs a slurry coat and restriping. Large asphalt play area needs to be redesigned. Current exterior environment is dismal and need to be redesigned with exterior learning environments. Old site benches are not accessible and should be replaced. Play areas are worn and disbursed with no reason. Grass areas are in bad shape and need to be re-designed. New solar array needs "a reason to be". Switchgear recently upgraded. Blue lunch shelter needs to be painted to match buildings. Play structure has been upgraded recently. Some of the spaces between buildings have been upgraded with hardscape, trees and seating. These need to be further upgraded to become outdoor learning areas. There appears to be no site storm water piping.

Buildings: The total building area of permanent buildings (excluding covered walkways) is approx. 66,800 sf. which consists of 14 buildings: 9 Classroom Buildings, 1 library, 1 Administration Building, 1 Locker Room Building, 1 Swimming Pool, and 1 Multi-purpose and Kitchen Building.

- Building 1: 5,000 sf
- Building 2: 5,000sf
- Building 3: 5,000 sf
- Building 4: 4,600 sf
- Building 5: 8,400 sf
- Building 6: 4,400 sf
- Building 7: 5,000 sf
- Building 8: 5,000 sf
- Building 9: 5,000 sf
- Building 10: 5,000 sf
- Building 11: 5,800 sf
- Building 12: 5,200 sf
- Building 13: 2,200 sf
- Building 14: 1,200 sf

Total Permanent Building Area: 66,800 sf
 Total Portable Building Area: 15,000 sf

Building Exteriors:

- Building exteriors are brick.
- Trim colors need to be brightened.
- Roof appears to be in good shape.
- Windows need to be replaced with dual pane.
- Drinking fountains have been recently upgraded.
- Library is a bungalow with exterior plaster skim coat, and needs to be replaced.

Building Interiors:

- Floors:
 - Classrooms - carpet with rubber base. We recommend floor finishes to be replaced with new.
 - Restrooms have been recently upgraded
 - Mechanical Rooms, Janitor and Storage room have concrete floors.
- Walls:
 - Classrooms typically have gypsum board on perimeter walls.
 - Restrooms are ceramic tile, recently upgraded
- Ceilings:
 - Ceilings have been recently upgraded.
- Storage:
 - Need of additional storage, new cabinets, shelving and casework updates.
- Technology:
 - Power and data are run in exposed conduit and are insufficient. Classrooms and Library are in need of lighting and lighting control/dimming, power, data, finishes, moveable storage, furniture, walltalker and smart board upgrades to make them 21st century learning environments.
- Spaces:
 - Accessibility signage needed.
 - Classrooms and Library walls, storage and windows have not been upgraded since built.



Office – finishes are outdated, needs storage and casework solutions



Lunch Shelter



Outdoor Commons can be better utilized



Typical Classroom – furniture and finishes outdated, need storage



Library – finishes outdated, environment is dull



Field - Recommend artificial turfing and reseeding

Flanner Elementary School

1399 Le Borgne Ave, Baldwin Park, CA



Site:	8.95 acres
Year Built:	1959
Grade Levels:	N/A
Current Enrollment:	N/A
Number of Teaching Spaces- Permanent:	15
Number of Teaching Spaces- Portable:	N/A
Student capacity- Permanent:	405
Student capacity- Portables:	N/A
Special Day Class:	

Site:

- There is no accessible path of travel from the parking areas, no drop off. Buildings are bungalows and portables and should be replaced.
- Other than some broken swings there is no play equipment. There are no outdoor seating areas.
- The existing old fencing should be removed and new security fence constructed around the site directing entry to Admin, which is the building in front of the auditorium.
- Accessibility signage is needed throughout.
- There have been no electrical upgrades done.
- Site lighting is damaged, replace and upgrade.

Buildings: The total building area of permanent buildings (excluding covered walkways) is approx. 26,005 sf which consists of 6 buildings: 4 Classroom buildings, 1 Administration building and 1 Multi-purpose

- Building 1: 1,863
- Building 2: 4,210
- Building 3: 3,506
- Building 4: 4,576
- Building 5: 7,874
- Building 6: 3,976

Building Exteriors:

- Brick work looks bad, is cracked and broken.
- All rooms require rework at the thresholds for access.
- Doors, jambs and hardware are damaged, old and need replaced.
- Windows need replaced with dual pane storefront.
- All wood trim is broken and falling off.
- Covered walkway structures are wood, damaged and should be replaced.

Building Interiors:

- Floors:
 - Classrooms - carpet with rubber base. We recommend floor finishes to be replaced with new.
 - Restrooms have tile flooring.
- Walls:
 - Classrooms have old chalk boards and no AV capability.
 - Restrooms are typically gyp bd with tile, requires some finish upgrades.
 - All rooms need new dual pane windows.
- Ceilings:
 - Ceilings and lighting are old need updating to current DSA standards.
- Technology:
 - Classrooms and administration office lack power and data.
 - New lighting and controls, power and data upgrades, new finishes, movable storage, walltalker and interactive learning to become 21st century learning environments.
- Spaces:
 - Accessibility signage needed.



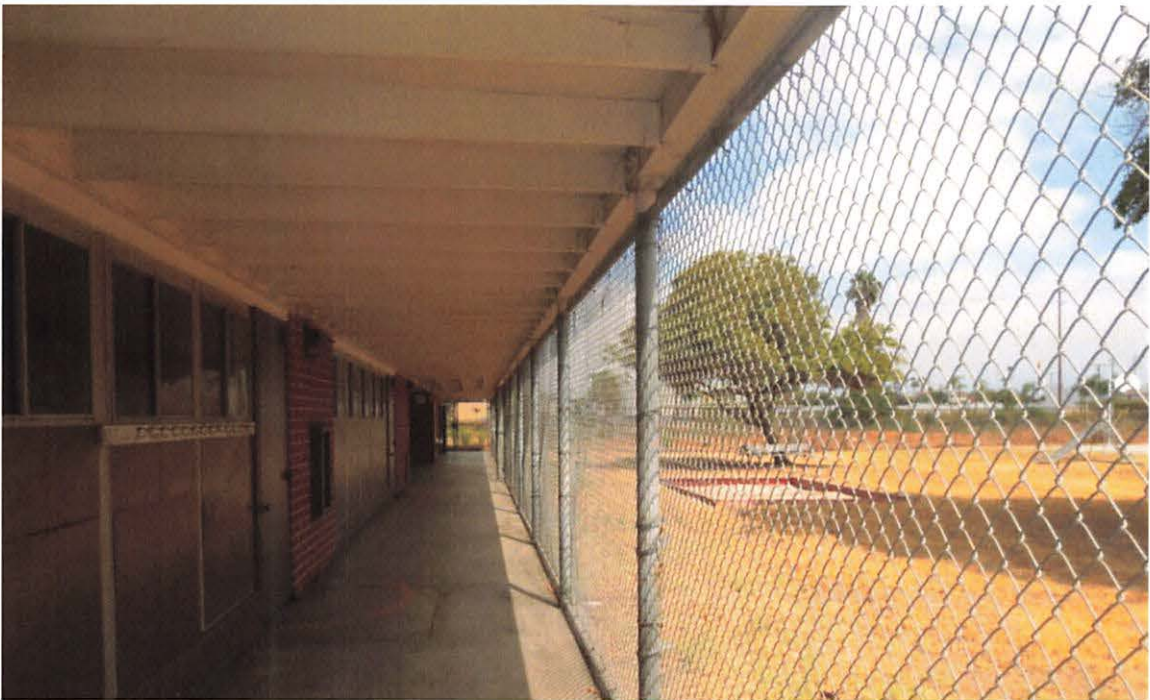
Outdoor areas need to be reseeded



Casework and finishes need updating



Admin area seems to be recently updated



Chain link fence around campus premises



Toilet facilities need updating



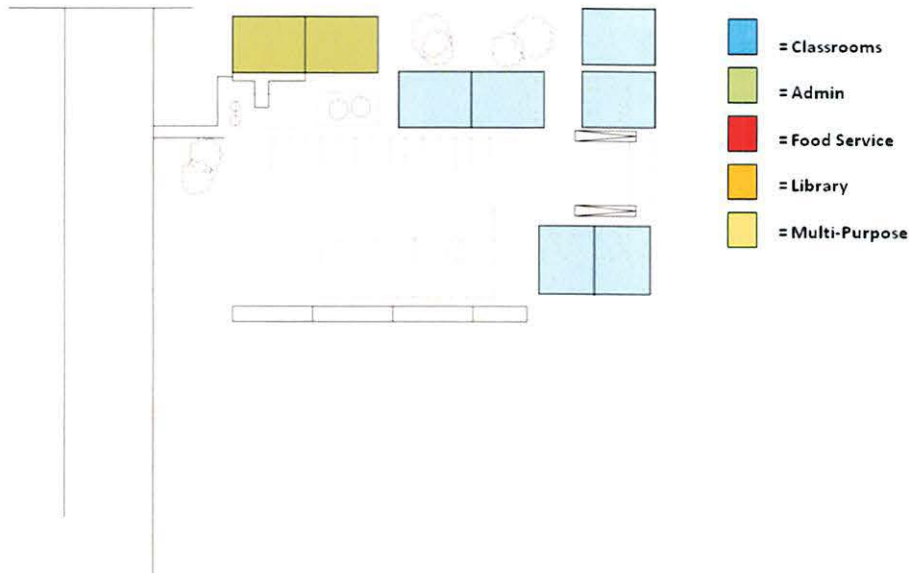
Toilet facilities are not ADA compliant

Nueva Vista Continuation High School

West Puente Valley, CA



Site:	4.2 acres
Year Built:	xxxx
Grade Levels:	10-12
Current Enrollment:	68
Number of Teaching Spaces- Permanent:	6
Number of Teaching Spaces- Portable:	N/A
Student capacity- Permanent:	180
Student capacity- Portables:	N/A
Special Day Class:	



EXISTING SITE DIAGRAM

Site:

- Campus is extremely unattractive and not conducive to attracting students, it looks like a detention facility.
- Buildings are bungalows and portables and should be replaced.
- Site is dismal primarily asphalt with no features. A complete hardscape redesign with introduction of planting, hardscape and seating is necessary to provide for outdoor learning areas.
- There is one green space to the north that should be enhanced.
- Accessibility signage is needed throughout.
- Administration is tucked away and hard to find.
- Full perimeter security fencing is required and should direct visitors to administration for sign in prior to campus access.

Buildings: The total building area of portable buildings (excluding covered walkways) is approx. 6,300 sf. which consists of 9 buildings: Classroom buildings 1-6, Administration building, Staff lounge and Restroom building.

- Building 1 Administration Building
- Building 2 Staff Lounge
- Building 3 Classroom Building
- Building 4 Classroom Building
- Building 5 Classroom Building
- Building 6 Classroom Building
- Building 7 Classroom Building
- Building 8 Classroom Building
- Building 9 Restroom Building

Total Portable Building Area: 6,300 SF

Building Exteriors:

- Buildings are off white, very unattractive bungalows and portables.
- Buildings need additional windows.
- Accessibility signage is needed.
- No building upgrades have occurred.

Building Interiors:

- Floors:
 - Classrooms - carpet with rubber base. We recommend floor finishes to be replaced with new.
 - Restrooms have epoxy flooring.
 - Mechanical Rooms, Janitor and Storage room have concrete floors.
- Walls:
 - Classrooms typically have gypsum board on perimeter walls.
 - Restrooms typically have frp requires some finish upgrades.
 - All rooms need new dual pane windows.
- Ceilings:
 - Ceilings have been recently upgraded.
- Technology:
 - Classrooms and administration office lack power and data.
 - New lighting and controls, power and data upgrades, new finishes, movable storage, walltalker and interactive learning to become 21st century learning environments.
- Spaces:
 - Accessibility signage needed.
 - Classroom walls, storage and windows have not been upgraded since built.



Sitting Area – needs to be updated to a outdoor learning commons



Exterior Buildings – needs updating and paint



Typical Classroom – outdated, needs new finishes, natural light storage & casework



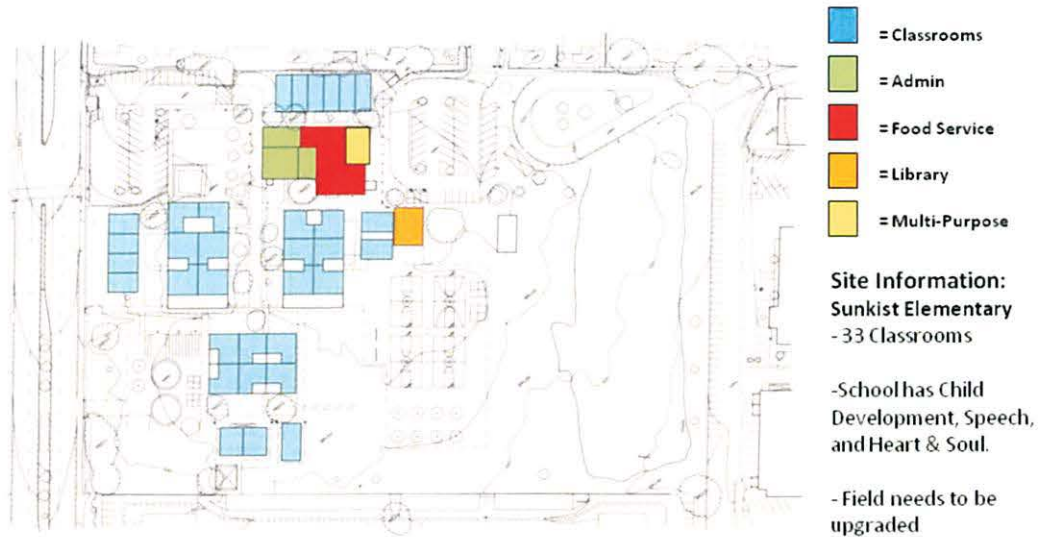
Natural light is needed in the classrooms

Sunkist Elementary School

935 Maryland Avenue, La Puente, CA



Site:	10 acres
Year Built:	1963
Grade Levels:	K-5
Current Enrollment:	532
Number of Teaching Spaces- Permanent:	33
Number of Teaching Spaces- Portable:	xxx
Student capacity- Permanent:	650
Student capacity- Portables:	0
Special Day Class:	



EXISTING SITE DIAGRAM

Site:

- Accessibility signage is needed throughout.
- Perimeter security fencing is needed.
- Access should be directed toward administration for sign in prior to campus access.
- Administration office is tucked away and hard to find.
- Landscape and hardscape need to be redesigned to act as outdoor learning environment.
- Grass areas are dry and not watered.
- Play areas are dismal and equipment sits in large expanse of asphalt with no landscape features.
- All asphalt and concrete are in poor condition. This site is not upgraded and there are path of travel access problems. There appears to be no site storm water system.

Buildings: The total building area of permanent buildings (excluding covered walkways) is approx. 56,900 sf. which consists of 11 buildings: 3 Classroom Buildings, 2 Locker Room Buildings, 1 Cafeteria Building, 1 Theater Building, 1 Swimming Pool, and 1 Gymnasium Building.

- Building 1 Classroom Building
- Building 2 Classroom Building
- Building 3 Classroom Building
- Building 4 Classroom Building
- Building 5 Library Building
- Building 6 Admin, Food service and Multi-purpose building
- Building 7 Classroom Building
- Building 8 Classroom Building
- Building 9 Classroom Building
- Building 10 Classroom Building

Total Permanent Building Area: 56,900 SF
 Total Portable Building Area: N/A

Building Exteriors:

- Exteriors are primarily brick.

- Trim colors need to be brightened.
- There are classrooms in aging bungalows that need to be replaced.
- The exterior storefronts need to be replaced with dual pane glazing.
- HVAC was upgraded 8 years ago.

Building Interiors:

- Floors:
 - Classrooms - carpet with rubber base. We recommend floor finishes to be replaced with new.
 - Restrooms have ceramic tile.
 - Multi-purpose – vct flooring looks worn. Recommend replacing finishes.
- Walls:
 - Classrooms typically have gypsum board on perimeter walls.
 - Restrooms are typically ceramic tile and have been recently upgraded.
- Ceilings:
 - Ceilings have been recently upgraded.
- Storage:
 - Need of additional storage, new cabinets and shelving.
- Technology:
 - Administration and classrooms data and power are run in exposed conduits and are insufficient.
 - New lighting and lighting control, power, data, finishes, moveable storage/furniture, and interactive learning are required to upgrade the spaces to 21st century learning environments.
- Spaces:
 - Multipurpose has not been upgraded, looks very dated and in need of refreshment.
 - Library and classrooms have not been updated.
 - Accessibility signage is missing.



Office – finishes are outdated, needs storage and casework



Multi-Purpose & Stage – finishes outdated



Typical Classroom – Finishes outdated



Lunch Area – needs shelter

Thomas Erwin School

943 Sunkist Avenue, La Puente, CA



Site:	12.6 acres
Year Built:	1957
Grade Levels:	12+
Current Enrollment:	
Number of Teaching Spaces- Permanent:	24
Number of Teaching Spaces- Portable:	10
Student capacity- Permanent:	624
Student capacity- Portables:	240
Special Day Class:	

Site:

- There are two Administration areas on site, these can be consolidated.
- The old site fencing needs to be replaced with taller security fencing which should direct access to and through a new consolidated Admin. prior to campus access.
- The areas between buildings are covered with broken asphalt. These areas need to be upgraded to accessible outdoor learning areas.
- There appears to be no storm drainage on site
- The play field is in very poor shape and should be redone.
- There are path of travel slope and ramp issues. Accessible parking upgrades are needed as well as total asphalt removal/replacement and restriping.
- Exterior drinking fountains are not accessible.

Buildings: The total building area of permanent buildings (excluding covered walkways) is approx. 53,000 sf. which consists of 8 buildings: 1 Administration buildings, 1 Multi-purpose, 6 Classroom building. There are also 8 portable buildings that are used for the Child Development programs.

- Building 1 Administration Classroom Building
- Building 2 Multi-Purpose & Lunch Shelter
- Building 3 Classroom Building
- Building 4 Classroom Building
- Building 5 Classroom Building
- Building 6 Classroom Building
- Building 7 Classroom Building
- Building 8 Classroom Building

Total Permanent Building Area: 53,000 SF

Total Portable Building Area: 13,800 SF

Building Exteriors:

- There is an apparent lack of building and canopy lighting.
- Exterior brick work looks bad, is broken in some areas and has been in-filled where windows were removed on all buildings.
- All buildings need fresh paint.
- In-filled window areas should be removed and dual pane windows replace all.
- All exterior doors and frames should be replaced, new hardware provided.
- Old fascias and trim are clumsy.

Building Interiors:

- Floors:
 - Classrooms - carpet with rubber base. We recommend floor finishes to be replaced with new.
 - Restrooms are typically epoxy flooring require updating.
 - Mechanical Rooms, Janitor and Storage room have concrete floors.
- Walls:
 - Dual pane glazing and new finishes are necessary.

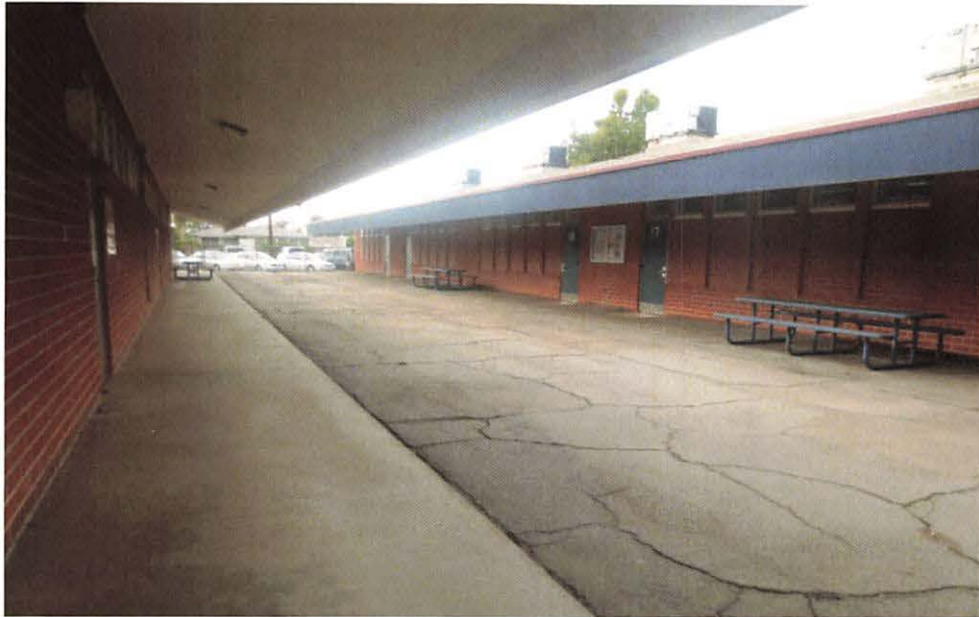
- **Ceilings:**
 - Classroom spaces need new ceilings, lighting, lighting controls.
- **Storage:**
 - Need of additional storage, new cabinets and shelving.
- **Technology:**
 - All rooms need more natural light, old surface mounted light fixtures.
 - Classrooms need smart boards and interactive learning moveable storage and furniture to bring the spaces up to 21st century learning environments.
 - Metal storage racks and exposed conduit need to be replaced with new lighting and lighting control need to get updated power and data.
- **Spaces:**
 - Campus is in need of a Library
 - Multi-purpose requires updating
 - All buildings need to be brought to 2013 Fire Life safety requirements
 - All facilities should be brought to 2013 Accessibility standards



Parking lot requires restriping



Restrooms require updating to be ADA compliant



Outdoor areas are not utilized



Drinking fountains are not accessible



Portables have no natural lighting



Multi-purpose- finishes need updating



Admin area-finishes need updating



ADA compliant signage required throughout campus

Torch Middle School

751 Vineland Avenue, City of Industry, CA



Site:	19.55 acres
Year Built:	1962
Grade Levels:	6-8
Current Enrollment:	702
Number of Teaching Spaces- Permanent:	33
Number of Teaching Spaces- Portable:	xxx
Student capacity- Permanent:	840
Student capacity- Portables:	xx
Special Day Class:	



EXISTING SITE DIAGRAM

Site:

- Gymnasium and kitchen are new structures, built in 2010.
- Parking, drop off and access requires upgrades.
- Parking and play areas asphalt needs a slurry coat or replacement and restriping.
- Security fencing is needed around entire perimeter and should direct access to administration for sign in prior to campus access.
- Landscape and hardscape require a total redesign to enhance the environment for outdoor learning and play.
- Picnic tables are set in various areas, but these spaces need redesign to be attractive.
- Exterior stage at lunch shelter is not accessible.
- New solar panel array sits far out in the play field and needs "a reason to be".
- Switchgear appears to have been upgraded. There appears to be no site storm water system. Areas of covered walkways roof deck is damaged and needs to be replaced.

Buildings: The total building area of permanent buildings (excluding covered walkways) is approx. 160,000 sf. which consists of 9 buildings: 1 Administration building, 1 Multi-purpose, 5 Classroom building, 1 Locker Room building, 2 Restroom

- Building 1 Administration Classroom Building
- Building 2 Multi-Purpose & Lunch Shelter
- Building 3 Classroom Building
- Building 4 Classroom Building
- Building 5 Classroom Building
- Building 6 Classroom Building
- Building 7 Classroom Building
- Building 8 Locker Room Building
- Building 9 Restroom Room Building
- Building 10 Restroom Room Building

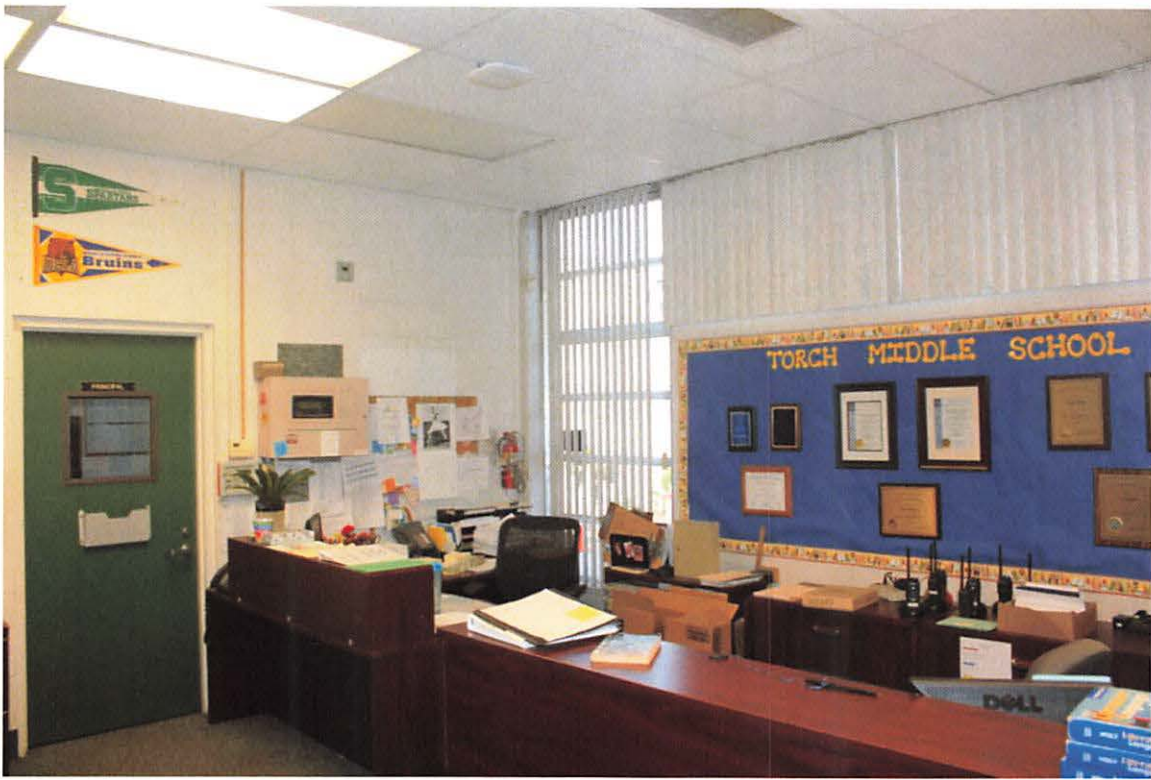
Total Permanent Building Area: 35,430 SF
 Total Portable Building Area: N/A

Building Exteriors:

- Administration office is painted masonry.
- Classrooms are in circular pods with outboard structural steel supports.
- Exterior trim needs to be repainted.

Building Interiors:

- Floors:
 - Classrooms - carpet with rubber base. We recommend floor finishes to be replaced with new.
 - Restrooms have been recently updated.
 - Mechanical Rooms, Janitor and Storage room have concrete floors.
- Walls:
 - Classrooms typically have gypsum board on perimeter walls.
 - Restrooms have been recently updated.
 - Dual pane glazing and new finishes are necessary.
- Ceilings:
 - Ceilings
- Storage:
 - Need of additional storage, new cabinets and shelving.
- Technology:
 - All rooms need more natural light, old surface mounted light fixtures.
 - Classrooms need smart boards and interactive learning moveable storage and furniture to bring the spaces up to 21st century learning environments.
 - Metal storage racks and exposed conduit need to be replaced with new lighting and lighting control need to get updated power and data.
- Spaces:
 - Administration office could use a re-coloring and new finishes, as well as new lighting.
 - The classrooms and library need to be totally upgraded.



Offices – finishes outdated



Lunch shelter



Storage – needs updated storage solutions, finishes outdated



Typical Classroom – finishes outdated, new furniture, storage and casework needed



Lunch Shelter



Gymnasium – outdated, needs bleachers, new finishes & more natural lighting



Locker Rooms require renovation



Entry Area needs updating

Van Wig Elementary School

1151 North Van Wig Avenue, La Puente, CA



Site:	5.22 acres
Year Built:	1955
Grade Levels:	K-5
Current Enrollment:	477
Number of Teaching Spaces- Permanent:	28
Number of Teaching Spaces- Portable:	xxx
Student capacity- Permanent:	728
Student capacity- Portables:	xx
Special Day Class:	



EXISTING SITE DIAGRAM

Site:

- Parking and play area asphalt needs a slurry coat and restriping.
- Site grass areas are dry and in need of enhancements.
- Site perimeter security fencing is required.
- Access should be directed to administration for sign in prior to visiting the campus.
- Site has been upgraded with new trees, hardscape and tables.
- These areas need to be further upgraded to act as exterior learning environments.
- Updated accessibility signage, additional drop off and curb ramp access are needed.
- Play structure appears to be fairly new.

Buildings: The total building area of permanent buildings (excluding covered walkways) is approx. 36,510 sf. which consists of 14 buildings: 11 Classroom Buildings, 1 Library Building, 1 Multi-purpose building and 1 Administration building.

- Building 1 Classroom Building
- Building 2 Classroom Building
- Building 3 Classroom Building
- Building 4 Classroom Building
- Building 5 Gymnasium Building
- Building 6 Administration Building
- Building 7 Classroom Building
- Building 8 Classroom Building
- Building 9 Classroom Building
- Building 10 Classroom Building
- Building 11 Classroom Building
- Building 12 Classroom Building
- Building 13 Classroom Building
- Building 14 Child Development Building

Total Permanent Building Area: 36,510 SF
 Total Portable Building Area: N/A

Building Exteriors:

- Buildings are primarily brick.
- There are also some wood sided portables inclusive of the Library that should be replaced.
- Roofs appear to be in good condition.
- HVAC was upgraded eight years ago.
- Windows need to be replaced with dual pane.

Building Interiors:

- Floors:
 - Classrooms - carpet with rubber base. We recommend floor finishes to be replaced with new.
 - Restrooms have ceramic tile.
 - Mechanical Rooms, Janitor and Storage room have concrete floors.
- Walls:
 - Classrooms typically have gypsum board on perimeter walls.
 - Restrooms- gypsum board walls with ceramic tile wainscot.
 - Dual pane glazing and new finishes are necessary.
- Ceilings:
 - Ceilings have been recently upgraded.
- Technology:
 - Surface mounted conduit needs to be replaced with in wall conduit, additional power and data.
 - New lighting and lighting control, new finishes, wall talker, interactive learning moveable storage and furniture are required to create 21st century learning environments.
- Spaces:
 - Administration office has not been upgraded, old lighting and surface mounted conduit need to be replaced/upgraded and new finishes provided.
 - Restrooms appear to have been upgraded.
 - Classrooms have not been updated since constructed and additional natural light is required.
 - Updated accessibility signage is required.



Storage needed in office spaces



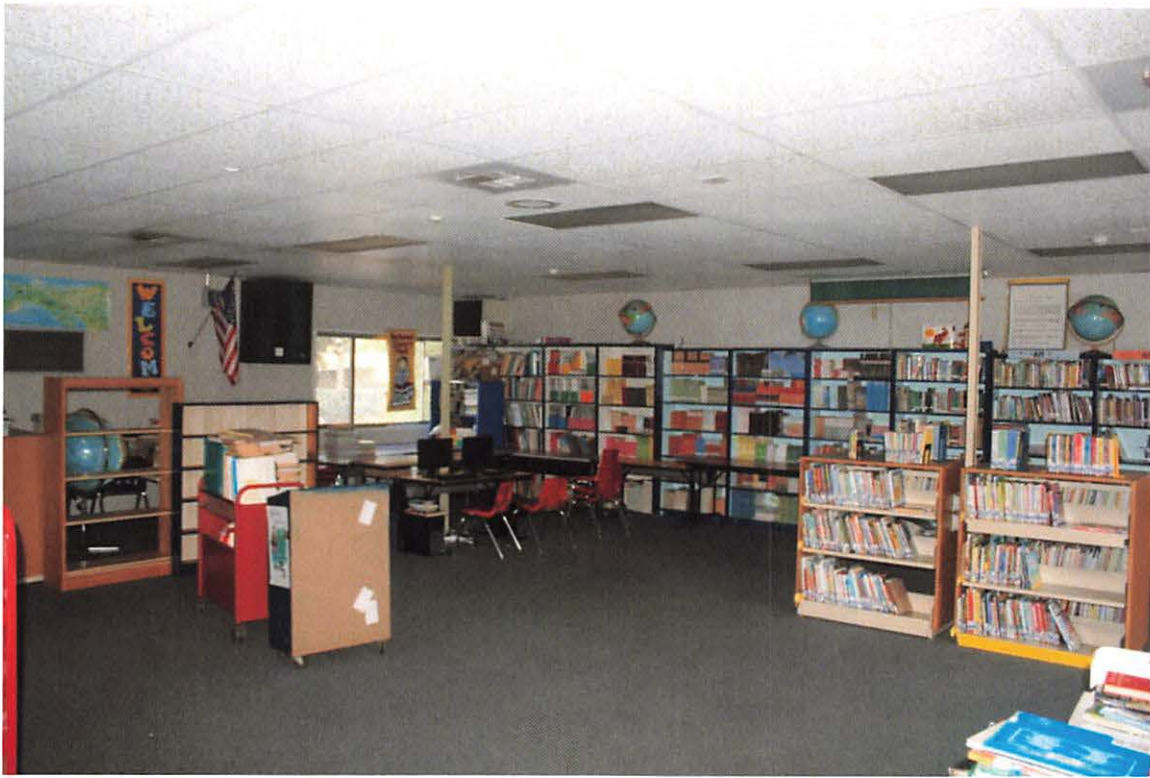
Typical outdoor area – needs re-turfing/outdoor learning commons



Typical Classroom – finishes & furniture outdated



Playground area



Library – finishes outdated, need storage & casework



Outdoor eating areas